

Care of Churches and Ecclesiastical Jurisdiction Measure 1991 – Quinquennial Inspection **ALL SAINTS, THIRKLEBY - GRADE II***

Diocese: Archdeaconry: Church Code:

Date of Inspection: Inspection undertaken by:

Previously Inspection:

York Cleveland 643 602

29th Sept 2023

2018 by Jon Steel

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1.00 INTRODUCTION

General

1.01 This report is prepared for use by the PCC and describes features and defects observed as required by the Inspection of Churches Measure. The report must not be used as a specification of work to be carried out and the PCC is required to obtain a Faculty before any work is undertaken with the exception of some minor maintenance items. Guidance on whether particular work is subject to faculty can be obtained from the DAC.

Access for the inspection was provided on the day of the inspection by Doug Gilanders

1.02 Priorities

Priorities indicated in the margin of the main body of the report are as follows:-

- 1 Urgent, requiring immediate attention
- 2 Requires attention asap within 12 months.
- 3 Requires attention within the next 12-24 months
- 4 Requires attention within quinquennial period
- 5 A desirable improvement with no timescale
- M Routine items of maintenance.
- O Keep under observation and report any changes to the Architect

1.03 Limitations Of The Report

This report is prepared for use by the PCC and describes features and defects observed as required by the Inspection of Churches Measure.

The inspection of the Church is made from ground level and using binoculars, parts of the structure which were inaccessible, enclosed or covered have not been inspected, therefore, it is not possible to report that any such part of the structure is free from defect.

1.04 Schedule of Accommodation

- WestPorch
- North Aisle
- Nave
- South Aisle
- South Chapel
- Chancel
- Vestry
- Baptistry
- Boiler Room
- Belfry

1.05 General Description

Extract from 'Yorkshire: The North Riding, Buildings of England Series' by N. Pevsner - Penguin Books 1966:-

ALL SAINTS. 1951 by E.B. Lamb for Lady Frankland-Russsell in memory of her husband, Sir Robert (d.1849). The W view cannot easily be forgotten - nor can the E view, for that matter From the w you have the N tower with its disproportionately high

spire starting by concave-sided broaches, the lower stair-turret with its spirelet leaning against the tower, the w porch cutting into the stair-turret and having one gable-end continued lower than the other, the nave W side with a tall fancy-Dec window - all the tracery of the church is fancy-Dec and every window is different - the SW buttress running up partly detached from the wall, and the S aisle W wall climbing in steps to meet the nave. From the E there is the contrast between the flat roof of the SE chapel and the rest, and the stepping up of the vestry E wall and the N aisle E wall. It is a veritable riot of forms, perverse and mischievous, and one takes a perverse pleasure in it.

Internally the church is much more normal, at least at first sight, until one discovers the details of pier bases and little arch corbels. The curious capitals of the chancel arcade have been described as 'quasi Hindu'. The high hammerbeam roofs are in fact positively impressive. To the NE vestry corresponds the FRANKLAND CHAPEL, octagonal, with an octopartite rib vault. The view & along the S aisle to the Frankland Chapel is as melodramatic as any High Gothic church interior in Yorkshire. Against the E wall a composition allowing for six oblong brass memorial inscriptions.

STAINED GLASS. Most designed by Lady Frankland-Russell. - One to S, a war memorial to William Payne-Gallwey, by G.M. Pariby, 1919. - FONT. A virtuoso piece with the octagonal bowl suspended, as it were, in a net of tracery patterning with openwork brackets at the angles. Almost certainly by Lamb.

MONUMENTS Several of the Frankland family, apparently dismantled and re-set, including Lady Arabella d.1687 and Sir William d.1697, both attributed to William Stanton (GF). Four children of Sir Thomas, 1803. By Flaxman. Tablet with three absolutely plain urns on a high base and against standing father and seated mother, grieving. It is all Grecian, except for the franker sentiment of the mother. In the floor at the W end, two C17 black marble slabs to members of the Ascough family with their rebus of three asses.

1.06 List Description

Grade: II*

Date Listed: 22 April 1965

English Heritage Legacy ID: 431492

Church. 1851 by E B Lamb for Lady Frankland. Coursed rubble with ashlar dressings; tile roofs with Welsh slates to aisles. 3-bay aisled nave with north-west porch and tower, lower 2-bay aisles chancel with south-east Frankland chapel and north vestry.

In Decorated style with offset buttresses; chamfered plinth and bands; windows pointed-headed to nave, pointed-arched to chancel, all with hoodmoulds; corbelled eaves; diaper-patterned nave and chancel roofs with gabled kneelers and ashlar coping.

2-stage tower has: octagonal vice with small trefoils below conical stone roof; on first stage circular windows to west and east and 3-light window to north; offset 2nd stage with 2-light windows; cavetto eaves band with ball flowers; broached spire with ball finials to broaches, lucarnes, scalloped capstone and iron finial.

Nave: west end has 4-light pointed-arch window, gabled porch on left with openpanelled double-door in heavily-moulded surround under spherical- triangle date panel and inner board door with decorative ironwork and circular panel, and to southaisle end a circular window with triangular and trefoil tracery and a stepped gable. South side has 2-light aisle windows and 1-light clerestory windows.

Chancel, south side; two 1-light windows to aisle and one of 2-lights with elaborately-traceried head to chapel which rises as hexagonal tower with buttresses and coped parapet on moulded band; cross finial to east gable. East chancel window of 3 lights

with star in head and small circular window above, chapel having a blind window of 2 lights with heraldic shields.

Interior: moulded pointed- arched nave arcades on octagonal columns with floral ornament; similar tower arch, taller roll-moulded pointed arch on corbelled columns with floral capitals to chancel. Hammer-beam nave and chancel roofs with shields at ends of corbels; curved principal rafters to aisles with fretted timber spandrels. Cusped niches with painted figures flank east window. Contemporary altar rail, font, screen to chapel and Minton floor tiles to chancel and chapel which has ribbed vault with initialled boss, set of 3 x 2 niches at east end, with floral-decorated capitals, elaborate ogee heads, finials and brass memorial plaques, and other niches in remaining walls.

Other memorials in the nave to members of the Frankland family include one to Sir Thomas Frankland, who built the previous church in 1722,,and coats of arms. The church was built by Lady Frankland in memory of her husband. W Grainge, The Vale of Mowbray; a historical and topographical account of Thirsk and its Neighbourhood (1859), p 193.

Listing NGR: SE4731178732

1.07 Work carried out previously and since the last inspection

- 2021 Renewal of the South Aisle & Vestry roof
- 2022 Gutters pressure cleaned

1.08 Maintenance

Although the Measure requires the church to be inspected by an Architect every five years, it should be realised that serious trouble may develop in between these surveys if minor defects are left unattended.

It is strongly recommended that the churchwardens should make, or cause to be made a careful inspection of the fabric at least once a year and arrange for immediate attentions to such minor matters as displaced slates and leaking pipes. Gutters, rainwater hoppers and pipes should be cleaned out in the late autumn and summer. Gullies, soakaways and drains should be cleaned out regularly and the perimeter of the church kept free of vegetation and grass.

Adequate natural ventilation should be maintained in the church to avoid conditions which encourage fungoid and beetle attacks.

It is recommended that the PCC enter into an annual contract with a local builder for carrying out the required maintenance work.

The use of cement in historic buildings: Cement based mortars have been widely used to repair historic buildings in recent times, particularly since the mid 20th century. However, the use of cement with historic stone and brickwork has proved to be severely damaging in many cases. Any reference to mortar repairs, repointing, rendering, plastering in this report must be carried out using suitable materials specified or approved by the Architects and will usually be lime or adobe based. No cementitious material should be used to repair this building without the express approval of the Architect.

Guidance may be had from the pamphlet 'How to Look After Your Church' *Publisher: Church House Publishing; 3rd Revised edition (1 Jan. 1991) ISBN-10: 0715175610 ISBN-13: 978-0715175613.*

http://www.churchcare.co.uk/churches/guidance-advice/looking-after-your-church.

1.09 Fire Precautions

Fire safety rules affecting all non-domestic premises came into effect on 1 October 2006. Under the Fire Regulatory Reform Act the PCC are required to appoint a 'responsible person' to carry out a Fire Risk Assessment, (which includes details for evacuation and the safe removal of valuables and so on).

At least one fire extinguisher of the right type should be provided; there should also be one additional extinguisher of the foam or CO₂ type where the heating apparatus is oil-fired. (There are three main types and it is essential to have the appropriate one in the appropriate place. Advice should be sought from the Local Authority Fire Prevention Officer).

All fire extinguishers should be checked and inspected annually by a suitably qualified person to ensure they are in good working order. Inspection records/certificates are to be kept in the church log book and on the individual extinguishers.

1.10 Electrical Installation

Any electrical installation should be tested every five years (except as may be recommended in this report or by the Church insurance provider) by a registered National Inspection Council for Electrical installation Contracting (NICEIC) or NAPIT full scope or ECA full competence accredited registered electrician. A resistance and earth continuity test should be obtained on all circuits.

In addition any portable electrical items should be PAT tested annually by a registered electrical engineer. Alternatively, prepare and conduct a schedule of testing and inspections applicable to the specific appliances present in the building in order to determine an appropriate frequency for testing for each. This assessment must be carried out by a competent person in accordance with the relevant guidance provided by the IEEE and HSE.

This report is based upon the visual inspection of the main switchboard and of certain sections of the wiring selected at random, without the use of instruments.

The electrical supply to the church is via an overhead cable and the meter and consumer unit located vestry

The electrical installation was last inspected in 2023 by RET Electrical & Maintenance, Thirsk. Therefore the next inspection is due in 2028.

1.11 Heating Installation

Heating is by way of an oil-fired Firebird Enviromax boiler located in the vestry which is connected to a wet radiator system in nave (under pew radiators) and chancel. There are surface-mounted fill fin heating tubes along the outer walls of the aisles. There is a Honeywell thermostat and boss 24/7 digital timer located in the vestry. Externally a Titan bunded oil tank is located on the east side of the tower with a pressurised supply pipe from the highway. There are consort electric panel heaters on the east and west walls of the baptistry/ tower base.

A proper examination and test should be made of the heating apparatus by a qualified engineer each summer before the heating season begins and the report kept with the church log book.

1.12 Lightning Conductor and Protection System

Any lightning conductor should be tested every quinquennium (in addition to any works which may be recommended in this report) in accordance with current British

Standards by a competent electrical engineer and the record of the test results and conditions should be kept with the church log book.

The insurance providers should be made aware of this situation and it is advisable that the PCC take advice from a suitable qualified professional to establish whether there is a necessity for lighting protection.

1.13 Bells

There are 6 bells which were restored, tuned and rehung on a modern steel frame as part of works carried out under a Heritage Lottery Grant in 2014.

1.14 Organ

Where appropriate an organ specialist should undertake an annual maintenance contract. A technical report should be commissioned if the instrument is of historical or musical interest.

A large instrument located at the west end of the nave directly below the west window and is understood to be maintained/ retuned annually by a specialist based in Harrogate.

1.15 Sound System

It is understood that the sound system was installed in 2012 and last serviced in 2021.

1.16 Accessibility

The Equality Act 2010 states that it is unlawful to discriminate against disabled people in connection with the provision of goods, facilities and services. All churches are required to take all reasonable steps to fulfil these obligations which in practical terms means having suitable access, lighting levels, sound installation and consideration for accessible toilet accommodation.

The degree of compliance with the Act's requirement to provide reasonable adjustments must be balanced against the requirements to protect the historic fabric of the building and to gain Faculty approval. Further advice is contained within the English Heritage publication "Easy Access to Historic Properties", also at www.churchcare.co.uk/legal. Where it is not possible to fully comply with the recommendations for access, measures to reduce access restrictions should be introduced to the extent that is compatible with protection of the historic fabric.

Accessibility into and the church for wheel chair users is hindered by a single step at the threshold of the entrance porch. The PCC is advice to familiarise itself with the Equality Act and carry out an Access Audit.

1.17 Sustainability

A Quinquennial Inspection is a good opportunity for the PCC to reflect on the sustainability of the building and its use. This may include adapting the building to allow greater community use, considering how to increase energy efficiency and considering other environmental issues. Further information is available on the Church Care website.

www.churchofengland.org/more/church-resources/churchcare/advice-and-guidance-church-buildings/sharing-your-building

On 12 February 2020 General Synod recognised that we are in a climate emergency and committed to an ambitious carbon reduction target of Net Zero by 2030. The culture is changing fast, both outside and within the Church; questions of sustainability should inform all our buildings-related decisions from now on, and this report highlights

TKB/ QIR Sept 2023. 6

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opportunities for action. See also the Practical Path to Net Zero Carbon (PPNZC) document in the appendix or use the following link:-

https://www.churchofengland.org/resources/churchcare/net-zero-carbon-church/practical-path-net-zero-carbon-churches

The Church of England Research and Statistics Team has created an Energy Footprint Tool. This will tell your church what your 'carbon footprint' is, based on the energy you use to heat and light your buildings, and is part of the Online Parish Returns System. You will need to input the data from the most recent year's electricity and gas/oil etc. bills, and the tool will then tell you the amount of carbon produced annually by heating and lighting your church building; it will also offer some helpful tips to reduce your carbon emissions. As you use the tool each year, you will be able to see how your church improves, as you take steps to cut your carbon footprint. Most dioceses now have a Diocesan Environmental Officer in post, who may be able to offer support, including on questions of ecology and biodiversity, and signpost you to further resources.

The energy footprint tool can be accessed by using the link below:-

https://www.churchofengland.org/about/policy-and-thinking/our-views/environment-and-climate-change/about-our-environment/energy-footprint-tool

Sustainability Countdown to 2030: It will be for the PCC to set its priorities for sustainability improvements, and I would encourage you to use the Practical Path to Net Zero Carbon (PPNZC) appended to this Report to help set these.

1.18 Health & Safety

Overall responsibility for the health & safety of the church and churchyard lies with the incumbent and the PCC even when a local authority or other organisation might have a maintenance obligation for some or all of the exterior spaces and features. This report may identify areas of risk as part of the inspection but does not equate to a thorough and complete risk assessment by the PCC.

1.19 Asbestos

The Control of Asbestos at Work Regulations 2012 requires that those responsible for public buildings, including churches, have an Asbestos Survey carried out and maintain an Asbestos Register to identify the type and location of Asbestos when present which should be available for any Contractors working on the building.

Further information is included on the HSEs website:

https://www.hse.gov.uk/asbestos/intro.htm

When any construction works are being planned at a preliminary stage an appraisal and investigation into the presence of asbestos should be carried out by an accredited specialist company.

There is currently no Asbestos Register.

1.20 Insurance

It is of crucial importance that all church buildings be adequately covered by insurance. It is understood that the buildings insurance is provided by Ecclesiastical

The PCC is strongly recommended to consult their insurance company or broker for full details and information on any variations to the type of cover provided and any special factors requiring consideration when construction works are being planned.

1.21 Weather Conditions On The Day Of The Inspection

Dry, sunny spells.

1.22 Date of Next Inspection before:

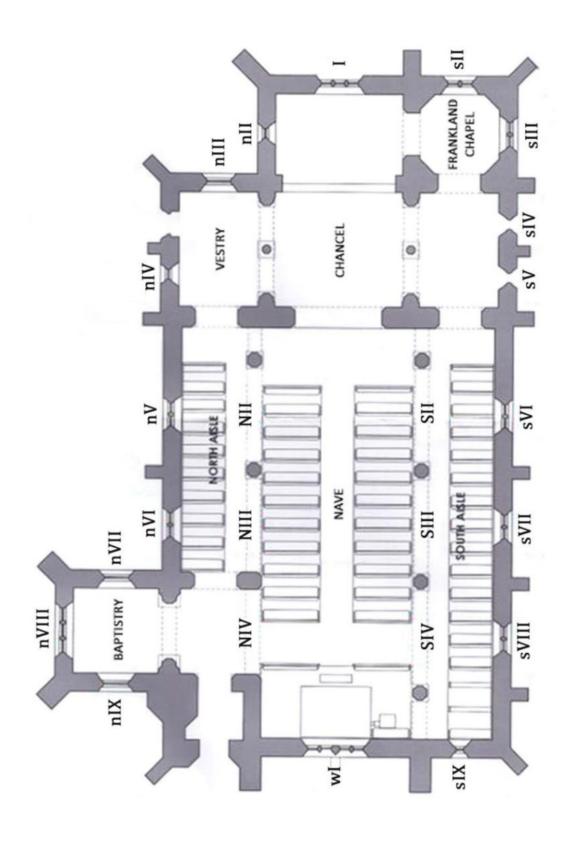
Sept 2028

1.23 Aerial View of Churchyard





1.24 Building Plan (Indicative layout)





2.0 ROOFS

2.1 NAVE - NORTH SLOPE

- 2.1.1 The nave has a steeply pitched clay tiled roof with a diamond pattern of fish scales and red plain tiles. On the south slope the fish scale tiles are in red, here on the north slope they are black. The roof has black clay ridge tiles with a roll top.
- 2.1.2 The roof tiles abut gable parapets at the east and west ends and the tiles sit tight against the underside of the coping stones. There is no flashing visible except for a glimpse of leadwork at the eaves against the west parapet where it is partially covered with mortar haunching.
- 2.1.3 There is, in places, what might be remnants of mortar haunching against the back of the coping stones. Without any hauching the joint at the interface between the tiles and the coping stones is exposed. It is presumed that there is some sort of secret guttered detail concealed beneath the tiles that is protecting the abutment between the roof and the wall from moisture ingress otherwise the interior show more significant signs of dampness than there is.
- 2.1.4 There are a few chipped tiles here and there and they look a little bit disheveled in places but on the whole they are in reasonable condition.
- 2.1.5 A moderate amount of moss growth is accumulating on this north slope which needs to be controlled. It is recommended that the moss is carefully removed, avoiding the use of high-pressure water systems, and treated with a suitable herbicide to prevent any significant regrowth. The north slope of the chancel should be treated at the same time as the nave.
- 2.1.6 The coping stones are heavily weathered and quite knarled. The effects of general weathering and the extent of lichen covering the surfaces makes it difficult to assess the condition of the stone in detail. However, even from ground level there are several significant fractures visible which give cause for concern. All the copings need to be examined in greater detail by a specialist stonemason. Cherry picker access will be necessary and the apex stones to both gables and the kneeler at the east end should be priorities.

Rainwater Goods

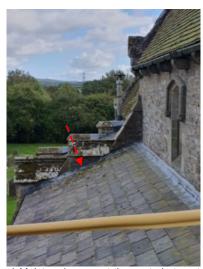
- 2.1.7 There is a black plastic eaves gutter supported on stone corbels with a single outlet at the midpoint. This outlet discharges via a downpipe directly onto the north aisle roof, which collects all the rainwater in a cast iron gutter at its eaves.
- 2.1.8 There is only a single outlet from the north aisle eaves guttering which means all the rainwater from the north slope of the nave and north aisle roof must pass through a single downpipe to reach the below-ground drainage.
- 2.1.9 A rainwater catchment area of this size (i.e. north slope of nave & north aisle) ought to have at least two outlets connected to below-ground drainage. It is little wonder that the internal face of the north wall of the vestry is in such poor condition. It is very likely that the guttering to the north aisle roof over-spills during heavy rainfall and the fact that the gutter is disjointed with some sections falling away from the outlet will only compound the problem.
- 2.1.10 The gutter to the north aisle needs to be refurbished or replaced. Before doing so consideration needs to be given to the feasibility of increasing the size/ capacity of the gutter and number of outlets.



2.2 NORTH AISLE ROOF

- 2.2.1 The north aisle roof is a simple mono-pitch structure covered with Welsh slate. There are abutments at the east and west end against the vestry parapet and tower wall respectively.
- 2.2.2 The surfaces on a number of the slates are starting to delaminate and there are several others that are cracked or have broken corners. Presuming these are the original slates, if so, they will be just over 170 years old and some of them are clearly coming to the end of their life cycle. The broken slates need to be replaced.
- 2.2.3 There are lead flashings in place at all abutments. Some of the lead looks very old and there have been some repairs and replacements in more recent times. Judging by the condition of the internal face east wall, which separates the north aisle from the vestry, it appears that moisture is finding a way in through the parapet flashings and/ or masonry above.
- 2.2.4 Given the age of the north aisle roof and the amount of maintenance now required, not only to the slate covering but also the lead abutment detailing and guttering (see the section above for recommendations on the guttering), a full renewal of the roof covering could be justified.
- 2.2.5 In the meantime, regular maintenance should be implemented, however, even with the most diligent maintenance regime in place, it will be very difficult to protect and keep the internal finishes in the north aisle in good condition, therefore, the PCC is advised to consider the feasibility of carrying out a full renewal of the north aisle roof covering.
- 2.2.6 There is also a small section of slate roof that forms a valley between the tower and nave. This also discharges rainwater onto the north aisle roof below. The age and condition of the slate are similar to that on the north aisle and extensive moss growth has taken hold in this area. The moss needs to be carefully removed.

2.2.7

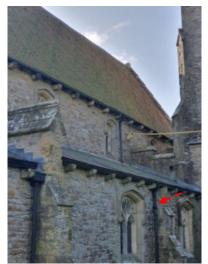


a) Moisture ingress at the east abutment and parapet need to be investigated



b) Flashings are in place at all abutments but some of the lead is now very old and worn. Note broken slates

2.2.8



a) Guttering needs to be overhauled. Note the single downpipe from the north aisle drains the entire nave.

2.2.9



a) Remove moss from the valley between the tower and nave



b) Broken slates to be replaced. Corroded and disjointed guttering?



b) Birdseye view of the valley and west end of the nave.

2.3 CHANCEL & VESTRY - NORTH SLOPE

- 2.3.1 The north slope of the chancel is covered in the same clay tiles, plain red with black fish scales in a diamond pattern, as the north slope of the nave. The chancel also has the same black clay ridge tiles with roll top. The ridge tiles have lost a bit of bedding mortar however they all appear relatively level and secure and there are a couple of replacement tiles on the main slope but the overall condition is reasonable.
- 2.3.2 The tiles are quite green with algae and there is plenty of moss growth across the whole roof which needs to be carefully removed and controlled as recommended above for the nave.
- 2.3.3 There is mortar haunching at the abutment against the nave and the tiles are set tight to the underside of the parapet coping at the east end, as per the nave. The coping stones look quite knarled with potential fractures in the kneeler. There is a cross at the apex which shows no obvious defects but given what poor condition of the other coping stones it would be prudent to check the chancel when access is made available for the nave.
- 2.3.4 There is a black plastic half-round gutter supported on corbels which discharges onto the vestry roof below which was renewed with Welsh slate and lead flashings in 2021. All in good order.



a) Clay tiled chancel above the lower vestry roof

2.3.6



b) Manage moss growth on the chancel



a) Check stability of the apex cross



b) Slate and lead flashings renewed in

2.4 NAVE - SOUTH SLOPE

- 2.4.1 The south slope of the nave is covered in red clay tiles and identical to the north slope except that the fish scale tiles are also red rather than black. The condition of the tiles is also very similar with a couple of chipped corners here and there but nothing that affects the weather tightness of the roof or requires remedial work.
- What is of concern is the condition of the coping stones, especially the apex stone on 2.4.2 the west gable. Drone footage taken to investigate a potential leak on the south aisle in December 2022 captured a bird's eye view of the copings and the apex stone appears to have a significant fracture across the middle of its top surface. This item needs to be inspected in detail from a cherrypicker by a specialist stonemason as part of the recommendation made elsewhere in this report for masonry investigations.

2.4.3



a) South nave



2.4.4



a) Drone footage from Dec 2022. Remnants of mortar haunching and knarled coping stones



b) Apex stone appears to be split in half. Investigation required.

2.5 SOUTH AISLE ROOF

- 2.5.1 The entire south aisle roof was overhauled in 2001 with new Welsh slate and lead flashings, the roof was counter-battened in order to introduce a breather membrane and secret gutters were introduced at the east and west abutments. The existing half-round plastic guttering supported on corbels was retained. All is in good order.
- 2.5.2 Except where noted the photos below were taken in Oct 2021 when the roof was renewed.

2.5.3



a) South aisle 2023



b) View looking towards the east

2.5.4



a) West parapet



b) Secret gutter abutment

2.6 CHANCEL - SOUTH SLOPE & SOUTH CHAPEL

- 2.6.1 Chancel The south slope of the chancel matches that of the nave i.e. it is covered with red clay plain tiles with red fish scales forming a diamond pattern and black clay roll top ridge tiles. It has a pointed abutment against the chancel gable and to the east the tiles sit tightly to the underside of the stone copings. Overall, the roof is in reasonable condition.
- 2.6.2 **Chapel** The south chapel is formed with two roofs, it has a simple mono-pitch covered with Welsh slate and an octagonal lead roof concealed from view at ground level behind a tall masonry parapet.
- 2.6.3 The slate roof connects with the clay tiles at the eaves of the chancel creating a continuous surface i.e. a 'catslide roof' with the pitch of the slate over the chapel at a much shallower angle to that of the chancel. A lead flashing is visible at the interface between the two materials.
- 2.6.4 The slate roof is set very high against the stepped parapet to the west, which divides the chapel from the south aisle. This results in a rather clumsy-looking detail whereby the slate cuts across the stepped gablet coping. This arrangement looks potentially vulnerable to moisture ingress with no lead flashings visible and weather-tightness apparently reliant on the parapet masonry oversailing the slate.
- 2.6.5 There is a more conventional abutment detail where the slate roof interfaces with the semi-octagonal parapet masonry at the east end of the chapel. Rainwater discharges from the higher roof behind the parapet via a hopper and downpipe which is then channelled in a metal tray to the eaves guttering of the slate roof.
- 2.6.6 The slate looks a little bit uneven at the top of the slope against the south aisle parapet and there is some staining to the internal fabric in the corresponding location which would warrant closer inspection by a roofer. However, on the whole, the slate appears in reasonable condition. Due to limitations on access, the condition of the lead roof behind the parapet at the east end cannot be inspected.

2.6.7

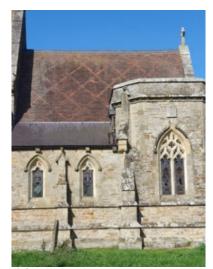


a) Chancel and slate roof over the chapel form a continuous surface



b) Abutments against the south aisle and nave

2.6.8



a) South elevation



b) Octagonal lead roof captured in drone footage from Dec 2022

2.7 PORCH ROOF

- 2.7.1 The porch has a steeply pitched roof with the same red clay tiles with diamond pattern as used on the main roofs. The north slope of the roof abuts the staircase turret/ the vice and drains its rainwater to a short section of eaves gutter with downpipe.
- 2.7.2 The south slope is more problematic, it abuts against the nave and corner buttress which creates a valley gutter with no obvious outlet. As a result the valley is full of silt and plant life has become established. With no outlet to drain rainwater this will be a constant maintenance issue. The valley needs to be cleared out.
- 2.7.3 There are several cracked and missing tiles to the south slope. The missing ones have been replaced with lead. Judging by the stained roof boards in the porch below the valley gutter leaks but in general the roof appears to be weather tight.
- 2.7.4 Significant vegetation has taken route in the coping stone joints to the gable end. These need to be removed and/ or killed off with a suitable herbicide. The joints will then need to be repointed.

2.7.5



a) Guttering and outlet to the north slope

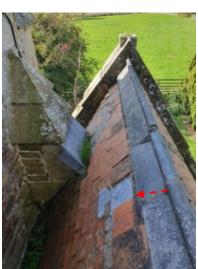


b) Remove plant growth and repoint.

2.7.6



a) Clear out valley. Is there an outlet?



b) Lead repairs

2.8 SPIRE

- 2.8.1 The tower has a tall octagonal spire with concave broaches rising from a square base with a large overhanging cornice. Midway up the spire are four lancet openings with ogee gablets/ hoodmoulds and timber louvre infills. The openings face the four cardinal points.
- 2.8.2 The masonry to the top section of the spire is a noticeably lighter shade than the lower portions. Perhaps this is the result of cleaning or was a different stone type used? There is a carved finial and wrought iron weather vane with a gilded cross.
- 2.8.3 There is some surface erosion in the masonry around the top of the brooches on the north elevation. The right-hand jamb to the lancet opening on that same elevation also appears to be quite heavily eroded.
- 2.8.4 In general, the spire appears to be in reasonable order, however, inspection from ground level is limited due to very oblique or long distance views. It is recommended that when cherrypicker access is made available to inspect the nave coping stones the opportunity is taken to carry out more detailed inspection of the spire.

2.8.5

2.8.6



a) Tower viewed from the east



a) North face of tower/ spire. Erosion to around the top pf the broaches and lancet jamb stones



b) East aspect



b) South aspect of spire viewed above the nave roof. Ogee hoodmould looks quite knarled.

3.0 EXTERNAL WALLS

General - The church was built in 1851 and constructed in a single phase of development. Walls are coursed rubble sandstone with dressed window tracery, window surrounds, string courses and parapets. The window tracery is magnesium limestone.

3.1 WEST PORCH - ENTRANCE

- 3.1.1 The porch is gable-ended and built in between the tower with its stair turret/ vice at the SW corner and the corner buttress at the NW corner of the nave. The porch has its own large diagonal corner buttress to the NW.
- 3.1.2 The outer doorway to the porch has a pointed arch with ballflower carvings set between the profiled jambs. The door opening has a hoodmould with label stop on the left-hand side, there is no stop to the opposite side as the hoodmould runs into the buttress.
- 3.1.3 A large section of the lefthand side hoodmolding has been lost and a number of the voussoirs directly below on both sides of the apex are very heavily eroded. The voussoirs have clearly been repointed in the past using a very hard cement-based mortar. This mortar is far too hard for the stone. It prevents moisture, which inevitably gets absorbed into the walls, from evaporating properly and is likely to have contributed significantly to the damage and deterioration of the fabric which is now plain to see.
- 3.1.4 At the base on the righthand jamb, just above the plinth, a masonry block is split in two and appears loose. This needs to be checked and secured/ repaired.
- 3.1.5 Above the doorway is what appears to be a coat of arms carved in limestone and set within a dressed sandstone surround. The carving is so badly weathered that its depiction and lettering have become illegible. The eroded stone is fractured and delaminating. The surrounding sandstone is in equally bad condition, its surface has totally perished except for a small section on the cill, which has multiple fractures and it is only a matter of time before it too disappears. The stone revealed below the dressed surface is extremely flaky and delaminated, this will collect moisture allowing it to absorb into the fabric which in turn will accelerate its current demise.
- 3.1.6 The parapet copings are open jointed and plant life has taken root. This is recorded with recommendations made elsewhere in the report but what should also be noted is that the coping stones themselves are delaminating and exposing more porous material below the surface which will be vulnerable to moisture ingress and further erosion.
- 3.1.7 Much of the walling stone has been repointed. The mortar is probably cementitious, it has shrunk and cracked which will be allowing moisture to seep into the walls and become trapped.
- 3.1.8 The doorway is secured with oak-framed 'screen doors' with carved tracery and mesh infill. The doors are heavily weathered but perfectly serviceable.
- 3.1.9 The missing hoodmoulding needs to be replaced as a priority as this provides shelter to the fabric below. However, the most severely eroded voussoirs will also need to be replaced. In addition to this all the cementitious mortars need to be removed from the walls and all the masonry needs to be descaled to remove loose and decayed material. Once all the necessary stone repair and replacement has been carried all the walls including the coping stones will need to be repointed using a suitable lime mortar.

3.1.10



a) West porch located between the tower and the NW corner of the nave

3.1.11



a) Large section of hoodmould missing. Replacement needed.

3.1.12



a) Limestone carving is illegible due to severe erosion and the surface of the sandstone surround is almost entirely lost.



b) The carved masonry door surround is heavily eroded including fractured stone above the plinth.



b) Voussoirs badly eroded.



b) North elevation adjoining the stair turret to the tower

3.1.13



a) Buttress between the porch and the nave



b) Stone erosion resulting from cementitious pointing and patching.

3.1.14



a) Surface delamination is widespread.



b) More evidence of cementitious mortar ruining the dressed stone. Repair/ replacement required and repointing.



a) Delaminated coping stones and plant growth



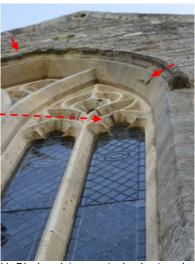
b) Fractured jamb stone above the plinth. Repair needed.

3.2 WEST ELEVATION - NAVE & AISLE

- 3.2.1 A gable-ended west elevation to the nave with parapet copings and flying buttresses at each corner. There is a smaller buttress in the centre of the elevation which is adjoined with the central mullion of the west window.
- 3.2.2 The central million to the west window forks into a 'Y' shape which frames three panels of curvilinear tracery. At the head of the most southern light the tracery is displaced. The glazing is intact and appears weathertight so no urgent action is required, however, any change should be reported to the architect. Note that a specialist report on the condition of the glazing in this and all the other windows was commissioned in Jan 2022.
- 3.2.3 A couple of the voussoirs are losing their surface and the hoodmoulding is badly eroded and losing its profile. Short sections of it are missing altogether.
- 3.2.4 The rest of the elevation (nave and aisle) is suffering from many of the same defects identified in the section above relating to the porch i.e delaminated and eroded masonry and the use of cement mortars during previous phases of repair is undoubtedly contributing to these defects.
- 3.2.5 The whole elevation would benefit from being raked out and repointing as soon as possible and a number of stone repairs/ replacements are needed. The hoodmould over the window would be the priority repair item as this provides protection to the window and associated masonry below.

3.2.6

a) West elevation viewed from the NW



b) Displaced tracery to be kept under observation. Note the delaminated voussoir and badly eroded hoodmoulding highlighted in the photo need repair.

3.2.7



a) West elevation viewed from the SW



b) Knarled and crumbling coping stones need to be check as well as cracked apex stone

3.2.8



a) Surface delamination to window reveal



b) Plinth weathering is delaminating, rainwater will get trapped underneath the surface and accelerate erosion.

3.2.9



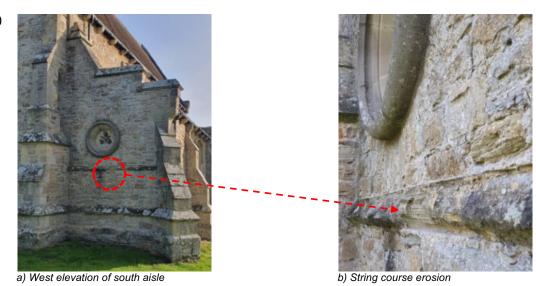
a) Stringcourse is breaking down



b) Significant erosion and open joints to dressed stone on flying buttress.

3.2.10

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3.3 SOUTH ELEVATION - AISLE & CLERESTORY

- 3.3.1 The south aisle has a diagonal corner buttress at the west end and a perpendicular buttress at the east which rises to form a step parapet dividing the aisle from the south chapel.
- 3.3.2 There are three shallow arched windows with hoodmoulds and label stops in the south elevation of the aisle. Each of the windows has two lights and tracery above. The central window is fitted with security mesh to protect the decorative glass, the outer two have clear glass leaded in a diamond pattern with circle motifs.
- 3.3.3 The mullions, tracery and glazing are all in reasonable condition although the leadwork is weakening, see specialist glaziers report from Jan 2022.
- 3.3.4 The sandstone window surround and hoodmolds are starting to erode and lose some of their profile in places, the hoodmould to the easternmost window has developed a series of horizontal fractures which need further investigation.
- 3.3.5 The walling stone is in reasonable condition however the mortar is heavily weathered in certain areas and the use of cementitious mortars for repointing is a concern. Raking out the existing mortar and re-pointing the whole elevation with the suitable hot lime mix would be beneficial.
- 3.3.6 At the eaves, there are stone corbel brackets that would have originally supported a timber or cast-iron gutter. Several of the corbels are extremely knarled and eroded, their stability ought to be checked. The guttering is now black uPVC secured on rise and fall brackets.
- 3.3.7 **Clerestory** There are three similar windows in the nave clerestory directly above the south aisle roof. The windows are smaller, each has a single light with clear glass leaded in a diamond pattern and features a hoodmold over a shallower arch. Inspection is more difficult due to the height of the windows, however, some erosion in the joints of the hoodmolding and surrounds is evident. The condition of the mortar pointing to the general walling stone appears better than that of the south aisle.

3.3.8

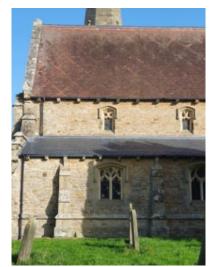


a) View from the SW



b) View from NW

3.3.9

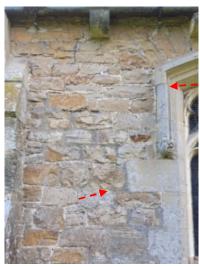


a) West-end of the south aisle



b) Corbel bracket are heavily eroded and need to be checked for stability

3.3.10



a) Heavily weathered pointing below the eaves. The dark grey cement pointing is a concern



b) Minor displacement in the hoodmoulding

3.3.11



a) Micro fractures in the hoodmoulding are likely to worsen without intervention to repair/ consolidate.

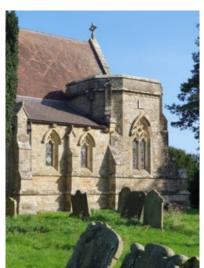


b) Numerous horizontal fractures are clearly visible. Note surface erosion to the window arched surround.

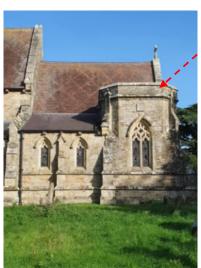
3.4 SOUTH ELEVATION - CHAPEL

- 3.4.1 The south elevation of the chapel has two single light, pointed arched, windows under a hoodmould with carved label stops. The leadwork in the lefthand window is noticeably buckled.
- 3.4.2 Similar defects as described elsewhere in this report are affecting both windows i.e. the dressed sandstone surrounds and cills are delaminating and the hoodmoulds are fractured and starting to lose their profile to erosion. Again, the cause of these defects is most likely due to the use of cementitious mortars during previous phases of repair.
- 3.4.3 In addition to the unwanted cement mortar pointing there are areas where the mortar has weathered back so much that it leaves the blocks exposed and vulnerable to moisture ingress. Like so much of the rest of the building, the south elevation of the chapel would benefit from being raked out and re-pointed with a suitable lime mortar.
- 3.4.4 There is a gabled buttress between the two lancet windows which is suffering the same general surface erosion that is affecting much of the masonry on the church but of greater concern are the significant fractures in the carved ridge and slopes that cap the gablet. The stability of this masonry needs to be checked.
- 3.4.5 The east end of the south elevation forms an octagonal structure and the walls rise above the ridge line creating a parapet with chamfered copings. There is a diagonal buttress on the SE corner. In the south face of the octagon is a 2-light window with stained glass and curvilinear tracery above. Half the hoodmould and label stop has been lost from the right hand side of the window and at the apex. This in turn has left the voussoirs unprotected and consequently they have become very eroded and have lost their carved profile. Repair is needed otherwise the deterioration will worsen at an accelerating rate and start cause other parts of the window and surrounding masonry to be damaged.

3.4.7

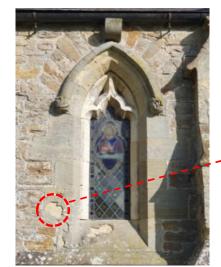


a) View from the SW



b) Octagonal form at the east end of the chapel

3.4.7



a) Left hand lancet



b) Delaminated surrounds & cill

3.4.7



a) Micro-fractures in the carved label stop threaten the integrity of the stone.

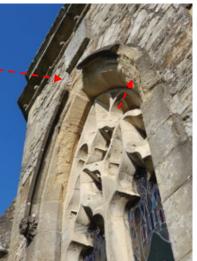


b) Carved ridge and slopes are badly fractured. Check the stability and carry out repair.

3.4.7



a) 2-light window at the east end of the south elevation



b) Sections of the hoodmould have been lost causing erosion to the voussoirs.

3.4.7



a) Repointing required where mortar has weathered back.



b) More delamination to the dressed stone at the corner of the octagon

3.5 EAST ELEVATION - CHAPEL

- 3.5.1 The east elevation of the chapel is a mirror image of the east end of the south elevation with its diagonal corner buttress and octagonal form.
- 3.5.2 It has a 2-light window of the same proportions and general design as the south elevation except that the lights are infilled with stone panels each featuring a decorative crest. The tracery above is fitted with leaded glass. A cast iron hopper and downpipe are positioned directly to the right of the window.
- 3.5.3 The hoodmoulding and window surrounds are fractured in places and the voussoirs are starting to erode particularly at the apex. Repair and consolidation is required to prevent/slow down further deterioration.
- 3.5.4 There is a mature tree in close proximity to the SE corner of the chapel which is responsible for a concentration of moss/ algae accumulating on and around the diagonal corner buttress. At this moment the tree is causing no significant detriment to the structure, however, the canopy must not be allowed to encroach and ought to be reduced. Ideally there would be no trees in such close proximity to the building.

3.5.5

a) East elevation of the south chapel. The tree canopy is encroaching and ought to be reduced.

3.5.6



b) Erosion at the hoodmould and voussoir at the apex.



a) Fractures developing in the dressed surrounds



b) Erosion and fractured carvings. The label stop is likely to perish in the short to medium term without intervention.

3.6 EAST ELEVATION - CHANCEL

- 3.6.1 The east elevation of the chancel is gable-ended with stone copings and a finial cross. There is a perpendicular buttress to the left-hand side of the gable, a diagonal one on the NE corner and a 3-light pointed arched window with geometric tracery all under a carved hoodmould with stop ends. The window is fitted with leaded stained glass.
- 3.6.2 All the masonry defects which have been identified elsewhere on the building and described in the previous sections of this report can be found on the east elevation of the chancel.

For example, a) the copings are dubious, some are fractured with pieces that look potentially loose; b) the hoodmould has eroded, most notably at the apex, and the voussoirs below are suffering as a result; c) the dressed stone window surrounds have 'popped', the surfaces are fractured and this is probably due to the main walling stone having been repointed with cementitious mortars preventing moisture evaporation through the joints and instead driving moisture into the stone; d) there is also some minor displacement in the tracery.

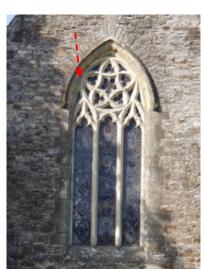
3.6.3 All these issues need to be investigated with remedial work carried out as soon as **2** possible to prevent further and accelerating deterioration.

3.6.4

3.6.5



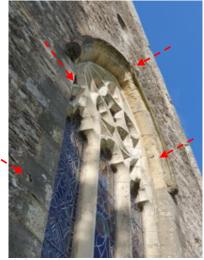
a) East elevation



a) East window



b) Fracture coping



b) Popped surround, displaced tracery, eroded hoodmould & voussoirs

3.6.6



a) Fractured surround/ cill stone



b) Fractured jamb, mortar pointing has shrunk forming cracks where moisture will get trapped

3.7 NORTH ELEVATION – CHANCEL & VESTRY (inc. Vestry E. Elevation)

- 3.7.1 The north elevation of the chancel has a single lancet window with tracery and decorative leaded glass. The elevation has been quite heavily re-pointed, like much of the rest of the building, however, the walling stone and window masonry are in quite reasonable order except for some isolated erosion to the string course and the chamfered weathering stone above the plinth.
- 3.7.2 The vestry is built against the north side of the chancel. It has an east-facing elevation with a stepped parapet and small tracery window, a diagonal buttress on the NE corner and its north elevation has a doorway, central buttress and single light flat-headed window.
- 3.7.3 The hoodmould, voussoir and cill stone to the window in the east elevation are heavily eroded and in need of repair/ consolidation.
- 3.7.4 The overflow from the header tank located in the vestry, which is known to have saturated the stone in the past, may well have contributed to the deterioration of the window surround, however, the cement mortar that has been used to repair so many other parts of this building has also been applied here and is undoubtedly part of the problem along with the acidic limestone run-off from the tracery.
- 3.7.5 There are actually two overflow pipes penetrating the north elevation, a modern plastic one and an older metal one above. There is a vertical crack directly above the metal overflow which extends to the parapet coping above where there is a very wide open joint. This needs to be investigated and repaired.
- 3.7.6 Above the plinth on the front face of the diagonal buttress hard cement mortar stands proud whilst the stonework erodes away.
- 3.7.7 The doorway in the north elevation has a double chamfered surround, a shallow arched head with hoodmold and carved label stops. The hoodmould has lost its profile at the lefthand corner and the label stop below has been destroyed by erosion. The jamb stones, weathering course and plinth directly below are also very heavily eroded.
- 3.7.8 At the threshold of the doorway, the jambs/ masonry surrounds are so badly eroded that the door no longer properly seals the opening.
- 3.7.9 The door itself is oak and heavily weathered but perfectly serviceable, although the hinges and all the ironmongery would benefit from refurbishment.
- 3.7.10 The vestry window in the north elevation is in reasonable condition but unfortunately, the joint in the guttering directly above has clearly been leaking for some time and has caused the right-hand side of the window surrounds and hoodmold to erode prematurely. The guttering was fixed when the vestry roof was repaired in 2001 so all being well the cause of this problem has been resolved but this needs to be checked.
- 3.7.11 Repointing and the various masonry repairs to the east and north elevation of the vestry as highlighted above need to be implemented.



a) North elevation of the chancel and east elevation of the vestry



b) Window to the vestry's east elevation suffering erosion.

3.7.13



a) Vestry east elevation



b) Vertical crack and open joint need to be investigated and repointed

3.7.14



a) Vestry north elevation



b) Repair/ consolidation of the hoodmould. Jamb stones must be repaired.



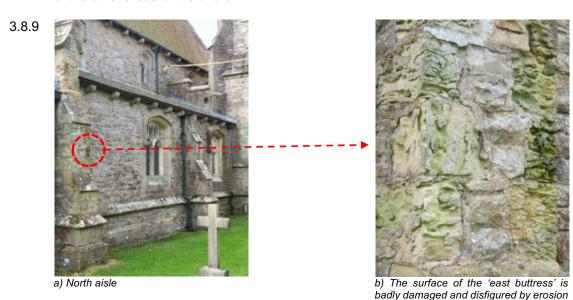
a) Cement mortar stands proud of the masonry and exacerbates the process of erosion



b) Hoodmoulding and jambs to the righthand side have eroded prematurely due to leaking gutter.

3.8 NORTH AISLE & CLERESTORY

- 3.8.1 The north aisle has a simple elevation with two windows and a central buttress. The elevation is bookended between the east buttress and the tower.
- 3.8.2 The east buttress that divides the north aisle and vestry has been heavily pointed with cement and as a result the surface of the stone to become extremely pitted and disfigured. The uneven surface is trapping moisture and coupled with the shaded northern exposure the masonry is clearly damp. The crevasses with have formed in the surface are green with algae. The whole buttress needs to be descaled and repointed.
- 3.8.3 The window on the east side of the central buttress is in better condition than some of the other windows, however, it too has surface erosion developing on the window surrounds and the tracery above the left-hand light has become slightly displaced and open jointed.
- 3.8.4 The window on the west of the buttress has similar erosion to the surrounds. The vertical section of hoodmould on the lefthand side is blackened with dampness, probably as a result of rainwater leaking from the joint in the guttering directly above. The masonry at the west end of the elevation, against the tower, is also quite green and I suspect this is due to the guttering being inadequately sized to cope with the amount the rainwater it has to carry.
- 3.8.5 Mortar at the base of the central buttress has been washed out leaving the masonry open-jointed and vulnerable to moisture ingress. Repointing is required.
- 3.8.6 **Clerestory** There is a concentration of erosion directly below the kneeler to the east **2** gable which needs to be investigated and repaired/ consolidated.
- 3.8.7 There are three clerestory windows, two of them are directly above the aisle windows, the one furthest to the west is difficult to see from ground level and faces the south elevation of the tower.
- 3.8.8 The clerestory windows have mild erosion developing to the hoodmould and surrounds and the opening casement to the central window appears to be corroded. Repointing open joints to the hoodmould and surrounding masonry with a suitable lime mortar might prevent these windows and the clerestory walling from deteriorating as badly as some of the other areas of the church.



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caused by cement mortars.

3.8.10



a) Window to the east of the central buttress



b) Displaced and open jointed tracery, however, the window remains weathertight

3.8.11



a) Dark staining is probably the result of the gutter above leaking



b) Open joint joints need to be repointed.

3.8.12



a) Erosion below the east gable kneeler

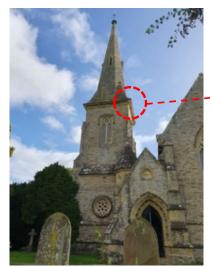


b) Typical clerestory window

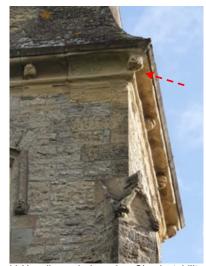
3.9 TOWER

- 3.9.1 The base of the spire overhangs the walls of the tower creating an eaves detail with a deep cornice. The cornice has carved ball flowers at each corner with two more equally spaced between on all four elevations.
- 3.9.2 The profile of the cornice has become heavily eroded which means rainwater is more likely to run down the face of the tower rather than drip clear of the walls. The ball flower carvings are also eroded and have lost much of their definition. In some instances, the southwest corner in particular, the stem carving appears very thin calling into question its stability.
- 3.9.3 Many of the joints between the cornice stones are eroded and open i.e. without mortar. This makes the cornice vulnerable to moisture ingress.
- 3.9.4 Plant life appears to have taken root within the cornerstones at the northeast corner. This needs to be removed.
- 3.9.5 Cherry picker access needs to be made available in order that a stonemason can inspect the condition of the cornice in detail, including investigating the defects identified above, and carry out any temporary/ holding repairs that might be necessary.
- 3.9.6 The cornice crowns the belfry stage of the tower which has large 2-light windows with tracery and hoodmoulds in each elevation. The windows have clear glass lead in a diamond pattern. All the glass and leadwork was renewed/ restored when the bells were restored in 2014 and are in good order.
- 3.9.7 However, the condition of the surrounding masonry is less good. All four elevations to the belfry stage have pockets of erosion in the walling stone. The hoodmoulding to the west window is badly eroded on its top section which looks very thin and fragile. This needs to be part of the stonemasons investigation when cherry-picker access is available.
- 3.9.8 At its base, the tower is attached to the north aisle on the south. The other three elevations each have windows providing daylight into the base of the tower where the baptistry is located and from where the bells are rung.
- 3.9.9 The east and west elevations at the base of the tower each have a circular window with geometric tracery. The tracery and glazing appear to be in reasonable condition however in each case the sandstone surround is starting to erode, losing their surface. The exposed masonry below the surface has become flaky and porous and will be increasingly vulnerable to moisture damage.
- 3.9.10 Similar problems with erosion to the surrounds has also affected the north window. It appears to be causing erosion to develop and damage the internal masonry in the corresponding locations. Without work to repair and consolidate the surrounds the deterioration will continue and accelerate.
- 3.9.11 The tower is designed with diagonal buttresses on all four corners which chamfer as the tower narrows to the belfry. The buttresses on the NE and NW corners are badly eroded and need to be repaired.

3.9.12

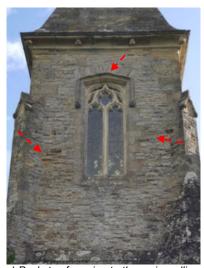


a) west elevation



b) Heavily eroded cornice. Check stability of the carvings

3.9.13



a) Pockets of erosion to the main walling stone and heavily eroded hoodmould



b) Erosion to the surrounds will worsen without repair/ consolidation

3.9.14



a) NW buttress pointed with cement



b) Remove cement mortar and repoint with a hot mix lime

3.9.15



a) North elevation. Eroded surrounds appear to be allowing moisture to track through and damage the interior.



b) NE buttress would benefit from having the cement mortar raked out and being repointed with lime mortar.

3.9.16



a) East elevation



b) Remove plant life

3.9.17



a) South elevation. Note how eroded the SW & SE corners of the cornice have become. Investigate and repair



 b) Minor surface fractures to the base of the mullion ought to be checked by stonemason

4.0 INTERIOR

4.1 PORCH

- 4.1.1 **Walls:** The exposed stone of the exterior walls forms the interior of the porch. The walls are stained green with algae in various places although this is not particularly detrimental in this location. There is a notice board on the south wall.
- 4.1.2 The masonry is in reasonable order except at low level around the external doors. Here the dressed stone jambs and chamfered plinth are heavily eroded. Repair is recommended.
- 4.1.3 In many areas the mortar has eroded back leaving the face and edges of the walling stone standing proud. However, due to the sheltered location this is not of great concern and no action is recommended at this stage.
- 4.1.4 Both the main entrance into the church and the entrance to the tower have oak boarded doors with strap hinges and traditional Ironmongery. All in reasonable order.
- 4.1.5 Both doors sit within pointed arched openings. It is noted that the voussoir immediately to the right-hand side of the apex to the tower entrance has 'dropped' and been reported with cement.
- 4.1.6 **Ceiling**: The ceiling is formed by the exposed rafters with boarding above. The boarding is noticeably moisture-stained at the bottom of its south slope which is of no surprise as the roof forms a valley junction directly above with no apparent rainwater outlet.
- 4.1.7 Floor: There is stepped access into the porch which will hinder some visitors with restricted mobility. The PCC is advised elsewhere in this report to carry out an access audit to ensure that all reasonable measures are being taken to make the building as accessible as possible.
- 4.1.8 The floor is paved with stone slabs which are all in good order. A loose-laid barrier mat is provided.

4.1.9



a) Stepped threshold to the main entrance will hinder visitors with limited mobility



b) Main entrance door with smaller door to the left providing access to the tower.

4.1.10



a) Voussoir adjacent to the apex has slipped and has been repointed – unfortunately with cement.

4.1.11



a) Severe erosion to the lower jambs around the outer porch doors.



b) Eroded pointing but not a concern due to the sheltered location.

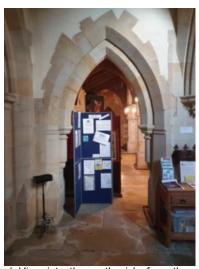


b) Moisture staining to the ceiling boards where there is a valley with no apparent drainage outlet above.

4.2 NORTH AILSE

- 4.2.1 From the porch, visitors arrive in a small narthex with the baptistry immediately to the left, the nave to the right and the north aisle straight ahead through a double chamfered pointed archway.
- 4.2.2 **Walls:** The general theme throughout the church is for dressed stone surrounds to structural openings with walls plastered and painted. The arcades to both the north and south aisles dressed stone.
- 4.2.3 There are two areas in the north aisle where the walls are suffering as a result of moisture saturation. The first area to note is at the east end above the pointed arch opening that leads to the vestry. Here the paintwork is flaking and the plaster below is starting to deteriorate as a result of moisture ingress through the parapet and probably to some extent through the abutment flashing above.
- 4.2.4 The dampness in this area extends down the face of the north wall and behind the timber panelling. The timber in direct contact with the wall shows evidence of beetle activity. It is hard to know if the activity is 'live' or not. No beetle fras was observed during the inspection, however, as there is so much fine debris from the defective wall finishes in the area it is hard to be conclusive. There may be some benefit in treating the area with an appropriate insecticide, however, whilst the walls remain so damp the conditions will always be conducive to beetle activity.
- 4.2.5 The second area of dampness is concentrated at the west end of the aisle and is almost certainly caused by the fact that all the rainwater from the nave roof discharges onto that area of the aisle roof above and the eaves guttering is inadequately sized to cope.
- 4.2.6 The plasterwork and decorative finishes are breaking down as a result of the moisture saturation and unfortunately, the window tracery is also suffering. This issue is only ever likely to be fully resolved if the rainwater goods and north aisle roof are both refurbished as recommended elsewhere in this report.
- 4.2.7 **Ceiling:** Exposed rafters on boards with the dark decorative stain form the ceiling over the north aisle. Considering the extent to which moisture is affecting some of the walls in that area the ceiling is in remarkably good condition.
- 4.2.8 **Floors:** There is a bank of pews on risers set against the north wall which leaves are narrow strip of stone paving. The paving is a little uneven and there are salt deposits around the joints which indicates moisture in the ground. However, the floor is perfectly serviceable.





a) View into the north aisle from the entrance/ narthex



b) Boards replaced but the narthex ceiling is in reasonable order.

4.2.10



a) View towards the east-end of the north aisle



b) Defective plaster/ decorations at the east wall.

4.2.11



 a) The wall panelling and pews are suffering beetle attack and decay due to the dampness in the walls.



b) Evidence of beetle activity. Consider treatment.

4.2.12



a) Plaster defects due to defective and under capacity guttering



b) The defective guttering has also damaged the window tracery and surrounds.

4.2.13



a) View towards the west. Salt deposits around joints in the stone paving due to ground moisture.



b) The ceiling is in reasonable condition given the age of the slates and the problematic rainwater drainage.

4.3 NAVE

- 4.3.1 Walls: At Thirkleby there is a central nave with 3-bay arcades open to the north and south aisles. There are three clerestory windows centralised above each of the aisle bays and large west window, the bottom half of which is obscured by the organ. There is a tall pointed arched opening to the chancel at the east with lettering painted on the outer face of the chamfered voussoirs.
- 4.3.2 The nave walls are all plastered and painted. The paintwork is discoloured and uneven in places where the plaster has cracked and repaired over the years, for example, the area directly above the lefthand column of the central bay in the north arcade. The interior remains presentable but would benefit from being redecorated.
- 4.3.3 However, in the southwest corner where the aisle clerestory meets the west wall there is a noticeable damp patch and higher up on the west wall the paint is flaking. The dubious condition of the parapet masonry to the west gable and it buttresses, which was highlighted in Section 2.0 of this report, may be contributing to these surface defects by allowing moisture penetration. There is also a rainwater outlet from the nave roof in this corner all of which should be investigated and repaired where necessary prior to any attempt to redecorate.
- 4.3.4 The mullions to the west window are all suffering from erosion as a result of dampness evidenced by salt deposits accumulating on their surfaces. There is also some displacement in the tracery. The specialist glazing report (Jan 2022) recommends releading the entire window in the next 10-20 years. It would make sense to carry out any repairs that might be required to the window masonry in conjunction with the recommended glass repairs. Although the glazing repairs are not urgent, the mullions and tracery ought to be checked and investigated promptly.
- 4.3.5 **Ceiling**: There are 8 hammer-beam trusses with metal tie rods at every other instance. The trusses support double purlins and exposed rafters with boards above. All the timber is finished with a dark decorative stain. No obvious defects to report.
- 4.3.6 **Floor:** There are two banks of pews on timber risers which leaves a stone-flagged walkway in the centre of the nave. The west end is also paved with stone flags and several large marble ledger stones inlaid. Minor surface damage but serviceable.
- 4.3.7 The pews are all in reasonable condition. Hearting pipes are routed tight against the edge of the risers with radiators at the front and back of each bank of pews and small panel radiators fitted below every other pew.





a) View towards the chancel & north aisle.



b) Exposed ceiling structure

4.3.9



a) View towards the west.



b) Damp patch and flaking paint might be caused by external masonry defect

4.3.10



a) West window recommended for releading in 10-20yrs. Note mullion erosion



b) Note salt deposits. Further investigation required.

4.3.11



a) Pews either side of the central walkway.



b) Ledger stones at the west end. Some discolouration but serviceable.

4.4 SOUTH AILSE

- 4.4.1 Walls: The walls to the south aisle are plastered and painted white matching the rest of the church. The arcade columns, arches and window surrounds are all dressed stone. Some movement has occurred in the arch at the west end dividing the aisle and the chapel which has been repointed previously (with cement) and ought to be kept under observation. However, in general the walls are in good order except for two areas which are affected by dampness.
- 4.4.2 The first area is at the east end of the aisle above the arched opening into the chapel. This is most likely caused by defects in the external abutment flashings and/ or parapet masonry directly above. As the north aisle roof has recently been replaced the cause of the problem may have been addressed. The area should be monitored and reviewed again at the next QI.
- 4.4.3 The second area affected by dampness is within the WC compartment at the west end of the aisle, at the top of the walls. The area of flaking paint near the eaves may be historic and resolved now that the aisle roof has been replaced. To be monitored.
- 4.4.4 At higher level within the WC there are runnel marks and what appears to be damp staining/ possibly mould. This staining corresponds roughly with the location of the damp patch visible from the nave on the opposite side of the wall. The area needs to be monitored and considered in conjunction with the masonry investigations recommended elsewhere in this report.
- 4.4.5 There are three windows in the south wall of the aisle. All are in reasonable condition, however, some movement has occurred at the springing points and where the edges of the tracery meet the window reveals. These areas have been repointed with what, unfortunately, appears to be a dark cement-based mortar.
- 4.4.6 In between the three windows in the south wall of the aisle are several monuments and plagues all of which appear to be secure but were not tested.
- 4.4.7 **Ceiling:** Exposed rafters and ceiling boards with a dark decorative stain. All in reasonable order.
- 4.4.8 **Floor:** The same stone paving as used elsewhere in the church is extended into the south aisle. There is minor surface damage due to wear and tear and some salt deposits indicating dampness which ought to be brushed away if possible.





a) WC at the west end of the aisle



b) Within the WC – dampness at the eaves, though to be resolved following 2021 reroofing

4.4.10



a) Within the WC – dampness and runnel marks. To be monitored.



4.4.11



a) Plaster defects. To be monitored. If deterioration continues the masonry should be inspected. parapet



b) Historic movement has been re-pointed.
To be kept under observation.

4.4.12



a) Dark cement repointing



b) Stone paving is serviceable

4.5 ANTEROOM (CHAPEL)

- Walls: At the east end of the south aisle there is another short aisle or 'anteroom' to the chapel. The anteroom has a 2-bay arcade on the north side open to the chancel, although access is blocked by choir stall pews on the chancel side. There are two windows in the opposite south wall which are centered on the arcade bays and the east and west walls have pointed arch openings to the chapel and south aisle respectively. The arcade and structural openings are formed in dressed stone, the main walls are plastered and painted.
- There is a small area where the paint is flaking above the arch in the west wall. This is in the corresponding location to the same defect on the opposite side which is visible from the south aisle. It is likely that a minor defect in the parapet flashing and/or masonry above is the cause.
- 4.5.3 The dressed stone to the arch in the west wall separating the anteroom and the south aisle has suffered surface erosion to its south/ lefthand side. This is a noticeable contrast to the right-hand side which is largely unaffected by erosion. A couple of the voussoirs to the right of the apex have been repointed in the same dark cement mortar as observed elsewhere. These defects are clearly long-standing and not of immediate concern. To be kept under general observation.
- Windows: The decorative glazing to the south windows is in need of repair. The 2 depiction of Christ on the cross in particular, is fractured and the leadwork is badly buckled in the adjacent window depicting Christ at the Last Supper. The Jan 2022 specialist glazing report provides more detail and recommendations. However, associated with this it should be noted that the stone cill below Christ at the Last Supper has become flaky and is actively eroding. This is probably due, in part at least, to moisture penetration resulting from defects in the glazing. The glazing and masonry ought to be repaired.
- 4.5.5 **Ceiling:** A central truss with single purlin to support exposed rafters and ceiling boards. All the timber has a dark decorative stain. All in reasonable order.
- 4.5.6 Floor: Exposed timber boards, very worn but perfectly serviceable.



4.5.7



a) Entrance to the chapel/ anteroom.



b) Arcade between the antercom and

4.5.8



a) South windows



b) Erosion to cill caused/ exacerbated by defective glazing. Repair recommended

4.5.9



a) Previous cement repointing.



b) Fractured glazing

4.5.10



a) West wall



b) Decoration and masonry defects. Probably historic and static. To be kept under general observation

4.6 CHAPEL

- 4.6.1 **Walls:** The chapel is octagonal in plan. All the walls are dressed stone with an octopartite rib vault ceiling/ roof structure. There are openings in each of the walls facing the four cardinal points, the diagonal walls between have decorative niches and memorial plaques.
- 4.6.2 Some of the carved stone to the niches on the southeast wall show signs of erosion which is probably a result of moisture striking through the external wall/ the buttress which is located on that corner. The buttress ought to be examined in more detail, some external repointing may be required. Apart from that the interior walls are in reasonable condition.
- 4.6.3 There is a window in the east wall. The tracery is glazed but the lower section is blind with 6 inscribed brass plates set within a carved screen. The screen forms part of the window masonry and serves as a reredos to the altar positioned below. All the masonry is in reasonable order.
- 4.6.4 The window in the south wall is fully glazed with decorative glass. The central mullion and tracery are heavily eroded. The glazing has been pointed in the past with a very hard cement mortar which appears to be the cause of much of the damage. The structural integrity of the masonry needs to be checked. Repair work or replacement stone will be required and inevitably some of the glazed panels will need to be removed. It will be prudent to implement the recommendations of the specialist glazing report in conjunction with the masonry repairs.
- 4.6.5 There are identical arched openings in the west and north walls. The west opening provides the entrance to the chapel is gated with decorative oak panels. The north archway is open to the chancel/ sanctuary but access is restricted by a column radiator located in the opening.
- 4.6.6 Ceiling: The dressed stone walls extend up continuously to form the octopartite rib vault ceiling/ roof structure. At its centre there is a carved boss featuring what appears to be lettering; probably Frankland family initials. There is some discoloration in stonework at the springing point of the vault/ arches. This coincides with the gutter line behind the external parapet and the discoloration is probably due to exposure to moisture. However, there was no sign of dampness during the inspection and all is in reasonable order.
- 4.6.7 **Floor:** the floor is decorated with plain and encaustic ceramic tiles. The patterned tiles incorporate lettering, again, quite likely to be initials related to the Frankland family. The white tiles have lost their surface but all remains serviceable.

4.6.8



a) Chapel viewed from the anteroom.



b) East window/ reredos. Note the concentration of erosion to the SE niches.

4.6.9



a) South window



b) The central mullion is heavily eroded.

4.6.10



 a) Remnants of hard cement mortar will have contributed to the erosion.



b) Eroded tracery would benefit from repair/consolidation.

4.6.11



a) West opening/ entrance

4.6.12



a) Ribbed/ vaulted ceiling



b) North archway open to the sanctuary



b) Tiled floor with bespoke designs incorporating family initials. Note the white tiles have lost their face.

4.7 CHANCEL

- 4.7.1 Walls: The chancel arch with its painted lettering and intricately carved capitals is in very good condition, however, the walls within the chancel are in quite poor condition. Like elsewhere in the church the walls are painted and plastered with windows surrounds and other features such as the arcades to the north and south of the chancel in dressed stone.
- 4.7.2 The walls in the chancel are badly affected by dampness, they are very discolored and uneven where the plaster has cracked and has been patched up. There are several areas where the paintwork is flaking and the plaster below is starting to break down. The cause of this problem is most likely due to a deterioration in the condition of the external masonry exacerbated by the use of cementitious mortar and a lack of controlled heating and ventilation. However, in addition to this, leaking roofs, gutters and rainwater goods will probably have contributed periodically over time.
- 4.7.3 In order to address this problem the PCC needs to carry out further investigations to assess the condition of the masonry which will inevitably result in a programme of repair and repointing. In conjunction with this a regime of building maintenance needs to be implemented to ensure rainwater goods and below ground drainage are functioning. Whilst this is happening it would be advisable to arrange access to determine the condition of the internal plaster finishes to confirm that they are secure and suitable for redecoration.
- 4.7.4 At the bottom of the buttress/ pier on the chancel steps against the north wall the dressed stone is losing its surface and the carved details are actively eroding. In this instance, the cause of the problem is very likely to be associated with the concrete slab over the basement boiler room. The slab has been cast up against the north wall of the chancel above the internal floor level which could enable moisture to strike through the wall to the interior of the church. Recommendations to remove the slab made elsewhere in this report should help prevent the interior defect from worsening.
- 4.7.5 The mullions and tracery to the east window are heavily eroded as are the stone surrounds. The tracery and glazing have been pointed with the same dark cement mortar observed elsewhere in the building which unfortunately is very likely to exacerbate the defects it was intended to resolve. Although it might be desirable to remove all the cementitious mortar this would involve significant intervention including the removal of all the glass and whilst the window appears to be weathertight restoration of the east window is not a high priority at this stage.
- 4.7.6 **Ceiling:** The same hammer beam roof structure as found in the nave, with exposed purlins supporting rafters and ceiling boards, covers the chancel and appears in reasonable condition.
- 4.7.7 **Floor:** The chancel floor is raised one step above the nave and his laid with a mixture of plain and encaustic tiles in a geometric pattern. Overall, the condition is good although the white tiles are clearly more heavily worn.
- 4.7.8 The sanctuary is raised by a further two steps from the main area of chancel. The steps are stone and salt deposits are accumulating on the riser of the bottom step. There is an oak altar rail at the top step and a red carpet/ runner extends from the centre of the steps to cover the entire altar dais.
- 4.7.9 The sanctuary floor is also covered with a mixture of plain and patterned ceramic tiles laid in a more intricate geometric design. The floors are all in reasonable condition.
- 4.7.10 There are two Glastonbury chairs in the chancel/ choir and a choir pew with quite extravagant carvings. In the sanctuary, alongside the altar table there are two chairs, candlesticks and dado panelling with reredos against the east wall. All in good order.



a) Looking towards the chancel from the nave

4.7.12



a) Looking towards the east window, arcades to the north and south.

4.7.13



a) North arcade separates the chancel and vestry



b) Carved voussoirs, capitals and lettering all in good order.



b) Plaster defects at high level to the back of the chancel arch.



b) Stained/ discoloured plaster. Large cracks. Is the plaster secure? To be investigated.



a) Plaster defects and stone erosion probably as a result of the concrete slab over the basement



b) Defective plaster/ decoration in the NE corner.

4.7.15



a) Tracery heavily repointed in cement



b) Erosion to the mullions and surrounds of the east window.

4.7.16



a) Salt deposits to the riser of the lower sanctuary step



b) Sanctuary floor.



a) Chancel/ choir floor

4.7.18



a) Glastonbury chairs



b) Ceiling/ roof structure in reasonable order.



b) Ornate choir pews.

4.8 VESTRY

- 4.8.1 Walls: The walls in the vestry are in quite poor condition due to excessive dampness. It is understood that the header tank located in the northeast corner of the vestry and/ or its overflow persistently leaked. This was identified in the 2018 QIR and has no doubt made a significant contribution to the damage that has been caused. It is good to see that this particular issue appears to have now been addressed and replacement of the slate roof covering in late 2021 will also serve to better protect the interior from moisture ingress.
- 4.8.2 However, clearly, the damage has been done and the cement pointing and open fracture in the exterior masonry identified elsewhere in this report will cause the condition wall and interior finishes to continue their decline.
- 4.8.3 In addition to this, the concrete slab over the basement boiler room abuts the east wall well above the internal floor level and it is quite likely that this arrangement allows moisture to strike through to the vestry's interior.
- 4.8.4 The dressed stone jambs to the external doorway are heavily eroded at the base to the extent that there is a significant gap between the timber door and masonry. Remedial work to the masonry is recommended elsewhere in this report.
- 4.8.5 Above the window, in the northwest corner, is another problem area with defective paintwork and plaster. It is quite likely that the hopper and rainwater outlet in the corresponding location on the north elevation have been the cause of this problem. However, as the vestry roof was refurbished in 2021 it is reasonable to assume that this problem is now resolved.
- 4.8.6 Once the remedial work recommended to the east wall and basement roof slab have been carried out the wall ought be rubbed down and any necessary plaster repairs carried out before redecorating.
- 4.8.7 **Ceiling:** A single truss supports an exposed purling with rafters and ceiling boards above. The dark decorative stain helps disguise what appears to be historic moisture staining. If/ when the vestry is redecorated the roof ought to be cleaned and re-stained.
- 4.8.8 **Floor:** The stone paving is discoloured and stained with salt deposits here and there. The cast iron grill covers a heating trench that runs east to west through the space. All serviceable.

4.8.9



a) View towards the east wall where the electrical distribution board and boiler are located.



 b) Window masonry and wall finishes are defective due to moisture

4.8.10



a) External door in the north wall.



b) Severely eroded jambs

4.8.11



a) Defective wall finishes in the NW corner



b) Damaged masonry at the base of the vestry/ north aisle arch. A combination of moisture and impact damage? To be reviewed at the next QI.

4.9 BAPTISTRY

- 4.9.1 **Walls**: The baptistry is located in the base of the tower with its south side open to the entrance/ narthex. The east and west walls each have circular windows with leaded tracery glazing under a pointed arch and within a dressed stone surround. In the north wall there is a 3-light window with tracery above fitted with stained glass and set within a shallow arched opening.
- 4.9.2 The west window has a crack through in one of the voussoirs on the left hand side which was noted in the 2018 QIR and probably has not changed significantly. To be kept under general observation.
- 4.9.3 There is a crack just left of centre directly below the east window and there appears to be some minor displacement in the sill. This is likely to be long standing and not of great concern at this stage. However, the window should be kept under general observation. There are numerous cracks in the glazing to the east window although it appears to be weather tight.
- 4.9.4 There is some mild erosion to the jams and splayed reveals of the north window which is probably due to the external surrounds being quite heavily eroded and moisture absorbing into the fabric. There is an open vertical joint directly below the central light and the central cill-stone is displaced and has lifted.
- 4.9.5 The defects associated with the three windows in the baptistry and noted above are most likely a consequence of the deteriorating condition of the external stonework. The exterior repairs recommended in Section 3.0 of this report should help slow the deterioration of the internal stonework.
- 4.9.6 **Ceiling:** A timber boarded ceiling with central bell hatch and six bell ropes. All appears to be in order.
- 4.9.7 **Floor:** The stone flags from the entrance narthex extend uninterrupted into the baptistry. The paving is perfectly serviceable but is discoloured with salt deposits it places. Clearly there is a certain degree of dampness rising through the floor throughout the nave aisles and baptistry, however, the detriment is mainly cosmetic and on the whole the floor is in decent condition. Ideally the PCC should attempt to brush down any salt deposits periodically to prevent too much accumulation.
- 4.9.8 The font located in the centre of the baptistry. The bowl is intricately carved and set on an octagonal plinth. The base was wrapped with carpet and could not be inspected in any detail.





a) Baptistry viewed from the nave



b) Font in front of the north window.

4.9.10



a) North window - erosion at the jambs and displaced cill





a) West window, cracked voussoir



b) East window, fractured cill



b) Ceiling wit bell hatch

4.10 TURRET

- 4.10.1 The turret walls are very rough. Mortar has fallen away from various areas and some reporting has been carried out over the years. There is lots of dust and debris on the steps from eroded masonry and mortar. However, the stairs are accessible and there is no obvious sign of excessive dampness.
- 4.10.2 The pointed arch to the doorway from the porch is fractured. The exterior had been repointed and the masonry appears secure at present resting on the door frame.
- 4.10.3 At the doorway to the top of the star there is a fracture in the jamb stone around the top hinge. This does not appear problematic at present but should be kept under general observation and reviewed at the next QI.
- 4.10.4 The top door is heavily weathered but appears to be adequately whether tight enough for this location.
- 4.10.5 There are two small windows in the turret wall, the glass is intact and they appear to be weathertight.





a) Turret entrance



b) Cracked arch. To be kept under observation

4.10.7



a) Walls are rough and lost a lot of mortar.



b) Turret window

4.10.8



a) Door heavily weathered but servicable.

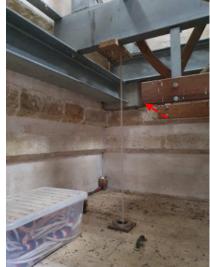


b) Fracture as a result of rusted hinge. Door feels secure. To be monitored.

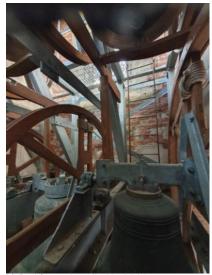
4.11 BELFRY

- 4.11.1 **Walls:** It is understood that the current steel bell frame was installed and the bells refurbished in 2014. The ends of the principal supporting beams are cast into concrete blocks and bear onto the external walls of the tower.
- 4.11.2 The interior face of the belfry walls are exposed brickwork with the belfry windows set within dressed stone surrounds. The brickwork appears to be in reasonable condition with just a few minor cracks at the top of the walls where stone corbels support the upper floor and bell hoist at the base on the spire.
- 4.11.3 The condition of the mullions, tracery and surrounds to the belfry windows is not as good as the general brickwork. All four windows have cracked at the head and have been repointed. In the case of the west window the mullion is very eroded and thin.
- 4.11.4 The mullion of the east window is also heavily eroded and so too is the splayed surround. The tracery to this window has been heavily pointed with what appears to be a cement mortar. A lot of the masonry to this east window is flaking and actively eroding.
- 4.11.5 The masonry to the north and south windows displays similar problems although they are not as badly affected as the others.
- 4.11.6 All four windows need to be inspected in more detailed by a stonemason in order that their condition can be better understood and any necessary repairs can be agreed.
- 4.11.7 Access to the spire is via a metal ladder built into the masonry and through an access hatch in the timber platform. The ladder is quite rusted and ideally should be brushed down and painted.
- 4.11.8 Looking up from within the belfry the timber platform appears to have a couple of damp patches although once above the platform there is no obvious evidence of dampness.
- 4.11.9 A timber A-frame bell hoist is located in the base of the spire. Its metal fittings are well painted and on the whole the frame appears sound, however, there is a localised area of beetle activity which ought to be treated.
- 11.10 There is a small pocket/ niche in the brickwork within the spire where there appears to be embedded ironwork within the masonry which is corroded. It is not clear what the ironwork is for and whether there is more of it. Expansion of metalwork embedded with in masonry can be very destructive therefore further investigation by an experience steeple jack is advisable.
- 11.11 The four lancet windows further up the spire appear to be well protected with mesh, certainly there is no evidence of any wildlife in the spire. Is it possible that some rainwater is getting blown in and that is responsible for the apparent moisture staining on the timber deck and possibly dampening the hoist frame creating conditions conducive for beetle activity? To be kept under observation.

11.12



a) Beam ends cast in concrete and bearing onto the external walls



b) Bell frame installed in 2014

11.13



a) West window



b) The central mullion is heavily eroded

11.14



a) North window



b) Crack repointed and cement mortar repairs to the tracery

11.15



a) South window. Cracked head as per the other belfry windows



b) Minor damage to the jamb stone

11.16



a) East window has been heavily pointed with cement



b) East window – mullion and surrounds actively eroding. Repair/ consolidation required

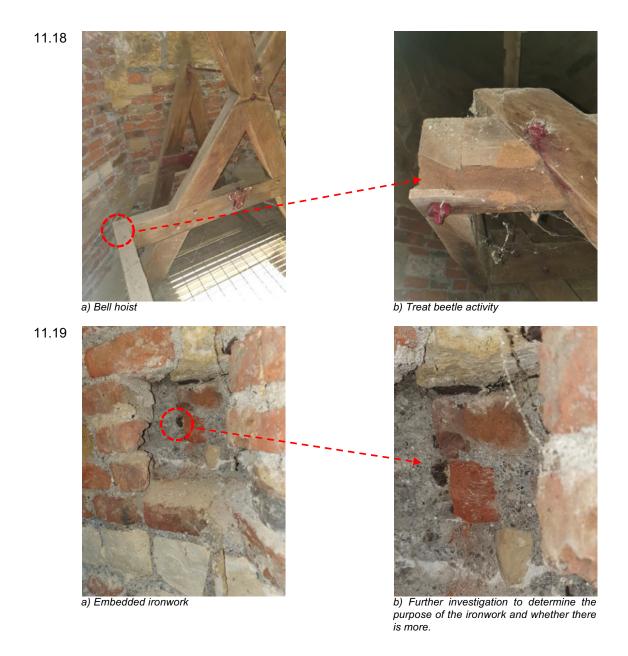
11.17



a) Damp patch?



b) Lancets well protected with window mesh.



4.12 BASEMENT (REDUNDENT BOILER HOUSE)

- 4.12.1 The basement is a redundant boiler house accessed via very steep and narrow stone steps. The steps are covered by a sheet of corrugated metal with no means of being secured.
- 4.12.2 The walls are largely constructed from brick with some stonework incorporated in the south wall. The floor appears to be consolidated with a mixture of brickwork and stone flags but is covered with dirt and debris. The walls and floor are very damp.
- 4.12.3 The basement is covered with stone slab supported on slender iron beams. The stone slabs appear to be screeded over with concrete which in turn has a heavy build-up of moss on its surface making it difficult to fully access its condition.
- 4.12.4 The stone and concrete forming the roof are heavily eroded and are delaminating in various places. The steelworks supports are also in very poor condition. In one instance the metal work is so corroded that it has broken and is no longer load bearing.
- 4.12.5 The structural integrity of the roof slab is highly dubious to the point that it cannot be considered safe to enter the boiler house and measures must be putting place immediately to cordon off the slab and prevent anybody from walking over it.
- 4.12.6 It is recommended that the slab is demolished and a new roof constructed. It seems quite likely that the level of the existing slab and the way it interfaces/ abuts the church building is causing moisture to strike through the walls with a detrimental impact on the internal finishes. The design and construction of any new roof structure over the boiler house should take this into account and be detailed in such a way that mitigates this problem.
- 4.12.7 There is mains water, heating pipes and surface water drainage connections present in the boiler house. Cast iron pipes presumably associated with the heating system have no lagging and are heavily corroded. The heating system ought to be reviewed by a heating engineer/ specialist contractor to assess its condition in detail and make recommendation to improve efficiency.

4.12.8



Basement' boiler house entrance is not properly secured. The load bearing capacity of the roof slab is considered inadequate and the are must be cordoned off.



b) A mixture of brick and stone walls. All very damp.

4.12.9



a) Iron supporting beams are extremely corroded

12.10



a) Rainwater drainage



b) Rust has eaten through the supporting ironwork. The beam is no loner load bearing.



b) Heating pump? Corroded heating pipes.

5.0 CHURCHYARD

- 5.1.1 Access to the church is via a long gravel track from the highway named Long Causeway. Wrought iron gates with stone pillars mark the entrance. An inner lockable gate restricts vehicle access.
- 5.1.2 There is a grass verge and fence on both sides of the track which is wide enough for a single vehicle travelling in one direction. Lighting bollards have been installed which are no doubt very useful given the isolated location of the church, however, they are not particularly robust and are vulnerable to impact damage from vehicles.
- 5.1.3 The track also serves as a public footpath which exits the site via a kissing gate in the northwest corner of the churchyard.
- 5.1.4 Mature yew and holly trees line the track to the north of the church which then narrows to a pathway delivering visitors to the main west entrance. There is no formal parking within the churchyard and although the track and pathway are perfectly serviceable, access to the building will be challenging for some with limited mobility.
- 5.1.5 The rest of the churchyard is laid with grass. The grass is close cut around the perimeter of the church and burial grounds which are laid out predominantly to the south and east.
- 5.1.6 There are a number of headstones that are heavily eroded and leaning noticeably. All should be checked on a regular basis and any which are found to be unsafe should be reset or laid flat. There are a lot of rabbit burrows around the east-end of the burial ground which could affect the stability of the headstones.
- 5.1.7 The churchyard is fenced on all sides with well-established planting and a ha-ha to the east boundary all of which provides a very pleasant setting and regular general maintenance should be undertaken to ensure this continues to be the case.

5.1.8



a) Entrance from Long Causeway



b) Mature trees to the north side of the church

5.1.9



a) View of the west end from the public footpath

5.1.10



a) Close cut grass to the building perimeter

5.1.11



a) Ha-ha to the east boundary





b) Check the stability of headstones



b) View from the SE

6.00 EXECUTIVE SUMMARY

The key issues for the PCC to consider and action arising from this inspection include:-

Boiler House Roof Slab - The issue that should be addressed most urgently concerns the basement boiler room roof. The structural integrity of the roof is highly dubious. It is formed from stone slabs supported on very slender iron beams which are all severely corroded. Because the roof appears as a gently sloping slab set within the ground it is very easy for anybody visiting or working in the churchyard to stand on it. The roof should be cordoned off as a matter of urgency and consideration given to its replacement.

Masonry – The good news is that the walls are stable and free of any significant signs of structural movement or distortion. However, the condition of the masonry is very poor in places. Lots of stone carvings and architectural features have been lost due to quite severe erosion and unfortunately, lots more will perish in the short to medium term without prompt intervention to investigate and understand the root cause of this deterioration before carrying out appropriate remedial work.

Cement mortars have been used quite liberally to repoint and repair the fabric previously and there is no doubt that this is making a significant contribution to many of the defects identified in this report. However, exposure to the elements, the quality of the stone and the difficulties of implementing regular maintenance will inevitably also be part of the story.

All the building's principal elevations would benefit from some degree of repointing and masonry repair. In certain instances, quite extensive restoration is urgently required in order to reduce the amount of historic fabric that is lost and preserve the character of the building.

Quite significant funding will be required to fully address all the defects identified in this report and others which inevitably will be discovered once further investigations have taken place.

Therefore, it is important for the PCC to take action now to establish a detailed and prioritised schedule of repairs. This will help support future grant applications/fundraising and, if required, enable urgent repairs to be targeted in smaller packages designed to match the available funds at any given time.

Glazing - A detailed glazing report has been carried out (2022) on all of the windows. Some of the recommendations, although not note in the report as urgent, do appear to be having detrimental impact on some of the surrounding window masonry. For this reason there are recommendations from the glazing report that will need to be brought forward in order to deal with the masonry repairs now recommend.

Sustainability - The PCC must prepare to take all practical measured to reduce the carbon footprint of the Church in response to the Church of England's stated commitment to become net zero carbon by 2030. The CofE's publication "A practical path to net zero carbon. A checklist for your church" is issued as an appendix to this report in order to assist the PCC address this matter.

Accessibility - The PCC is advised to review the Equality Act 2010 to ensure all practical measures are being taken to bring the building into compliance.

In summary - The church and its setting are very picturesque and the interior is similarly attractive, however, there are a number of repairs that are now overdue. The PCC needs to establish a maintenance plan to address the fabric repairs

required because if these are not dealt with soon the extent and cost of future remedial works could increase exponentially.

The PCC has stated that it needs to try and grow the congregation and attract more visitors. Extending the range of activities that can take place within the church has been identified as a possible way of achieving this. It is recommended that consideration is given to how this ambition to broaden the church's appeal can be tackled in a way that also delivers the essential fabric maintenance required.

7.00 REPAIR PRIORITIES

Below is a summary of work items resulting from the Quinquennial Inspection and ordered by priority. Each item is given a 'consent reference' as follows:-

A = List A Matter (No Faculty needed)

B = List B Matter (No Faculty needed but Archdeacon's approval)

F = Faculty is required.

Indicative costs are provided where appropriate, please note costs are unconfirmed and offered in good faith as guidance only: -

Item	1- Urgent, Requiring Immediate Attention	Consent	£	
1.15	Cordon off basement boiler house to prevent unauthorised access to the interior or onto the roof slab.	n/a	£ 50	
		Sub-total	£ 50	
Item	2 - Requires Attention Within 12 Months	Consent	£	
1.16	Review the Equality Act 2010 and consider accessibility/ access audit.	n/a	£0	
1.17	Consider and implement all reasonable measures to reduce the carbon footprint of the church.	n/a	£0	
2.1.6	Cherry picker access for stonemason and Architect to inspect nave and chancel copings (and nave west window, chancel east window & tower)	Α	£ 2,500	
2.1.10	Gutter refurbishment/ replacement to north aisle	В	£ 3,000	
2.2.2	Slate repair to north aisle	Α	£ 250	
2.2.6	Remove moss from valley between tower and nave	Α	£ inc above.	
2.3.3	Check chancel finial cross	Α	£ inc above.	
2.7.2	Remove debris in valley above porch	Α	£ 250	
2.7.4	Remove vegetation from porch copping and repoint	Α	£ 250	
3.1.4	Masonry repair to right hand external jamb stone in the porch	F	£ 750	
3.1.9	Hoodmould replacement, general repairs and repointing to porch	F	£ 5,000	
3.2.5	Hoodmould replacement, general repairs and repointing to west nave elevation inc. scaffolding	F	£12,500	

3.3.4	Investigate hoodmoulds/ surrounds to south aisle windows	Α	£500	
3.3.6	Repointing to chapel south elevation	В	£2,000	
3.4.3	Hoodmould and voussoir repairs to chapel south window	F	£2,000	
3.5.3	Hoodmould and voussoir repairs to chapel east window	F	£750	
3.5.4	Prune tree to SE of chapel	F	£500	
3.6.3	Hoodmould replacement, general repairs and repointing to east chancel elevation inc. scaffolding	F	£12,500	
3.6.3	Masonry repair and repointing to the vestry	F	£4,000	
3.8.2	Masonry repair to north aisle buttresses	F	£1,000	
3.8.6	Inspect and repair clerestory masonry/ repoint hoodmoulds	F	£1,250	
3.9.5	Tower cornice repairs inc. allowance for scaffolding	F	£17,500	
3.9.9	Repair/ consolidation to windows in the tower base	F	£2,500	
3.9.11	Repair/ consolidation to tower buttresses	F	£1,500	
4.1.2	Masonry repair to right hand internal jamb stone in the porch	F	£ 750	
4.2.4	Treat beetle activity in timber panelling/ pews to north aisle (volunteer)	Α	£ 25	
4.3.4	Stonemason to check internal mullions/ tracery to nave west window (with cherry picker)	Α	£ 1,500	
4.11.6	Stonemason to check internal mullions in the belfry.	Α	£ inc above	
4.11.9	Treat beetle activity in bell hoist	Α	£ 25	
4.11.10	Steeple jack inspection of tower (if required after investigation from cherry picker included above)	Α	£ 1,000	
4.12.6	Demolish boiler house roof slab and provide replacement	Α	£ 7,500	
5.1.6	Test headstones and confirm stability.	Α	£ 250	
		Sub-total	£ 81,550	

Item	3 - Requires attention within 12-24 months	Consent	£	
0.0.0	No items reported	Α	£0	
		Sub-total	<u>£ 0</u>	
Item	4 - Requires attention within quinquennial period	Consent	£	
2.6.6	Roofer to inspect tiles/ slates at the interface between south slope of the nave and chapel anteroom.	A	£ 250	
2.11.6	Brush down surface corrosion and paint belfry ladder with suitable rust inhibiting product.	А	£ 200	
		Sub-total	<u>£ 450</u>	
Item	5 - A desirable improvement with no timescale	Consent	£	
3.7.9	Refurbish ironmongery to vestry door	F	£500	
4.2.6	Redecorate north aisle on 'like-for-like basis (once dampness/ moisture ingress is controlled)	Α	£ 1,000	
4.3.3	Redecorate north on 'like-for-like basis (once dampness/moisture ingress in NW corner is controlled)	Α	£ 5,000	
4.5.4	Masonry and glass repairs to windows in the chapel anteroom	F	£ 2,500	
4.6.4	Masonry and glass repairs to south window in the chapel.	F	£ 2,000	
4.7.3	Investigate the condition of the plaster in the chancel (using the cherry picker in conjunction with the recommended investigation of the nave west window)	F	£ inc above.	
4.8.6	Redecorate the vestry on 'like-for-like basis (once dampness/ moisture ingress is controlled)	Α	£ 350	
4.12.7	Consult heating engineer/ specialist consultant to recommend measure to improve efficiency	Α	£ 500	
		Sub-total	£ 11,850	
Item	M – Routine items of maintenance	Consent	£	
4.4.8	Attempt to brush salts deposits from stone paving	Α	£0	
		Sub-total	<u>£ 0</u>	

Item	OBS - Keep under observation and report any changes to architect	Consent	£	
4.4.2	Movement in arched opening between south aisle and chapel anteroom.	n/a	£0	
4.4.4	Damp in the WC.	n/a	£0	
4.9.2	Crack to window surround in the baptistry	n/a	£0	
4.9.2	Crack to door surround at the top of the turret stair	n/a	£0	
		Sub-total		£0

Total Estimated Cost £ 93,900



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